

# Gin Property : Lot 28

## Senoia, Georgia

### IMPORTANT GENERAL NOTES:

THESE PLANS ARE PROVIDED FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, DESIGN DETAILS, COSTS, CONSTRUCTION METHODS, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY NOTED ON THE DRAWINGS.

THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND BASIC FRAMING. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND WATERPROOF HOME.

THIS HOME WILL BE BUILT TO COMPLY WITH OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE(IBC) AND/OR THE LOCALLY APPROVED BUILDING CODE. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED ON THIS PLAN WHERE SAME ARE AT VARIANCE.

**1. OWNER'S RESPONSIBILITY:**  
PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNERS NEEDS AND DESIGN EXPECTATIONS. ANY DESIGN QUESTIONS SHOULD BE DIRECTED TO THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.

**2. DIMENSIONS & ERRORS:**  
THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE CLARIFIED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT REPORTED. DO NOT SCALE DRAWINGS.

**3. MODIFICATIONS:**  
ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR RESIDENTIAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.

**4. CHANGE ORDERS:**  
ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS SIGNED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO ADJUST CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.

**5. DETAILS:**  
ALL IMPORTANT DESIGN DETAILS SUCH AS CORNICE, DORMERS AND PORCHES, ETC. SHALL BE FOLLOWED AS ON THE PLANS. ANY DESIGN CHANGES WILL BE ACCOMPANIED WITH SUBSTITUTE DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNERS APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES TO ADJUST UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.

**6. FLOOR ELEVATIONS:**  
PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE LOT - THE HOUSE, DRIVEWAY, AND FIRST FLOOR AND GARAGE FLOOR ELEVATIONS FOR THE OWNERS APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.

**7. OWNERS APPROVAL:**  
ALL MATERIAL, FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. ROOFING, EXTERIOR FINISHES, (BRICK, SIDING, STUCCO, STONE, ETC.), AND WINDOW SAMPLES WILL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING. VERIFY FIREPLACE SIZE(S) AND SPECIAL ITEMS SUCH AS SPA TUBS, ETC. BEFORE CONSTRUCTION.

**8. SQUARE FOOTAGE CALCULATIONS:**  
THE ACTUAL SQUARE FOOTAGE IS CALCULATED AS THE HEATED, FINISHED INTERIOR SPACE. THIS DOES NOT INCLUDE, PORCHES, UNFINISHED BASEMENTS, OR UNFINISHED BONUS ROOMS, VAULTED OR TWO-STORY SPACES SUCH AS GREAT ROOMS, FOYERS, AND STAIRS ARE CALCULATED ONCE- ON THE FIRST FLOOR ONLY.

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### SQUARE FOOTAGE

CONDITIONED SPACE	
MAIN LEVEL	1447 SF
UPPER LEVEL	1033 SF
Grand total	2480 SF

UNCONDITIONED SPACE	
MASTER PORCH	136 SF
FRONT PORCH	192 SF
BREEZEWAY	243 SF
GARAGE	552 SF
Grand total	1123 SF



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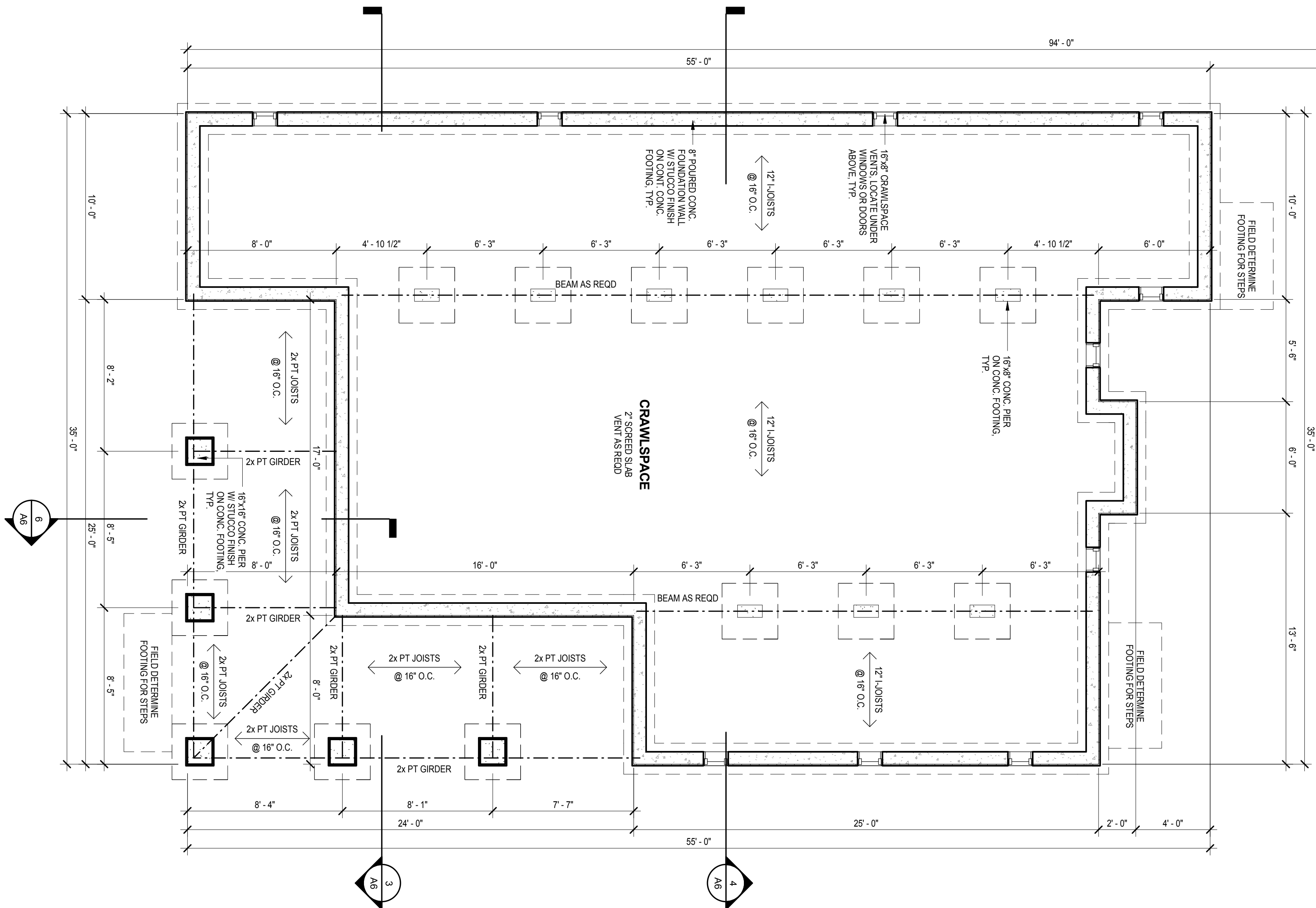
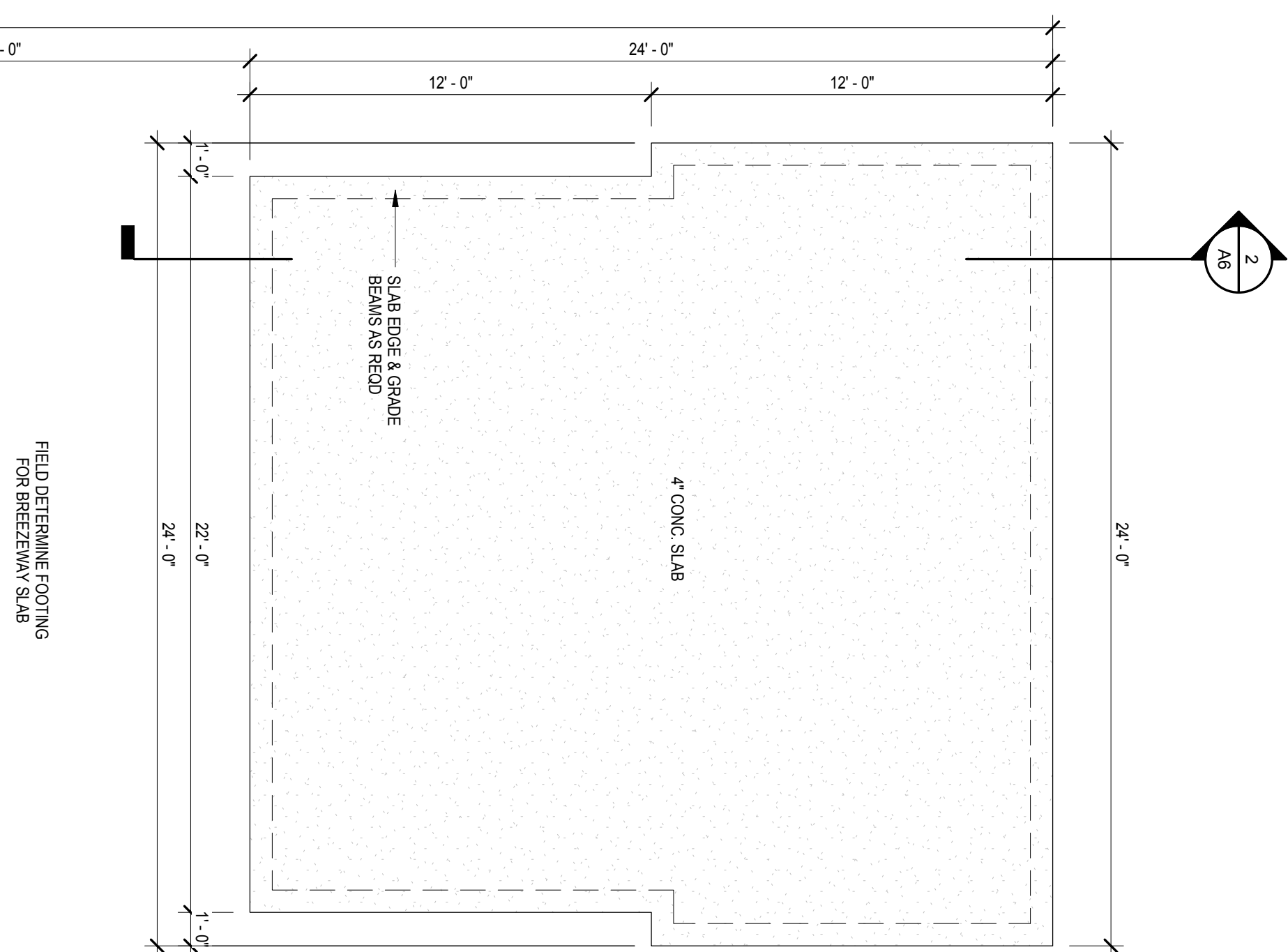


## Senoia, Georgia

## FOUNDATION PLAN

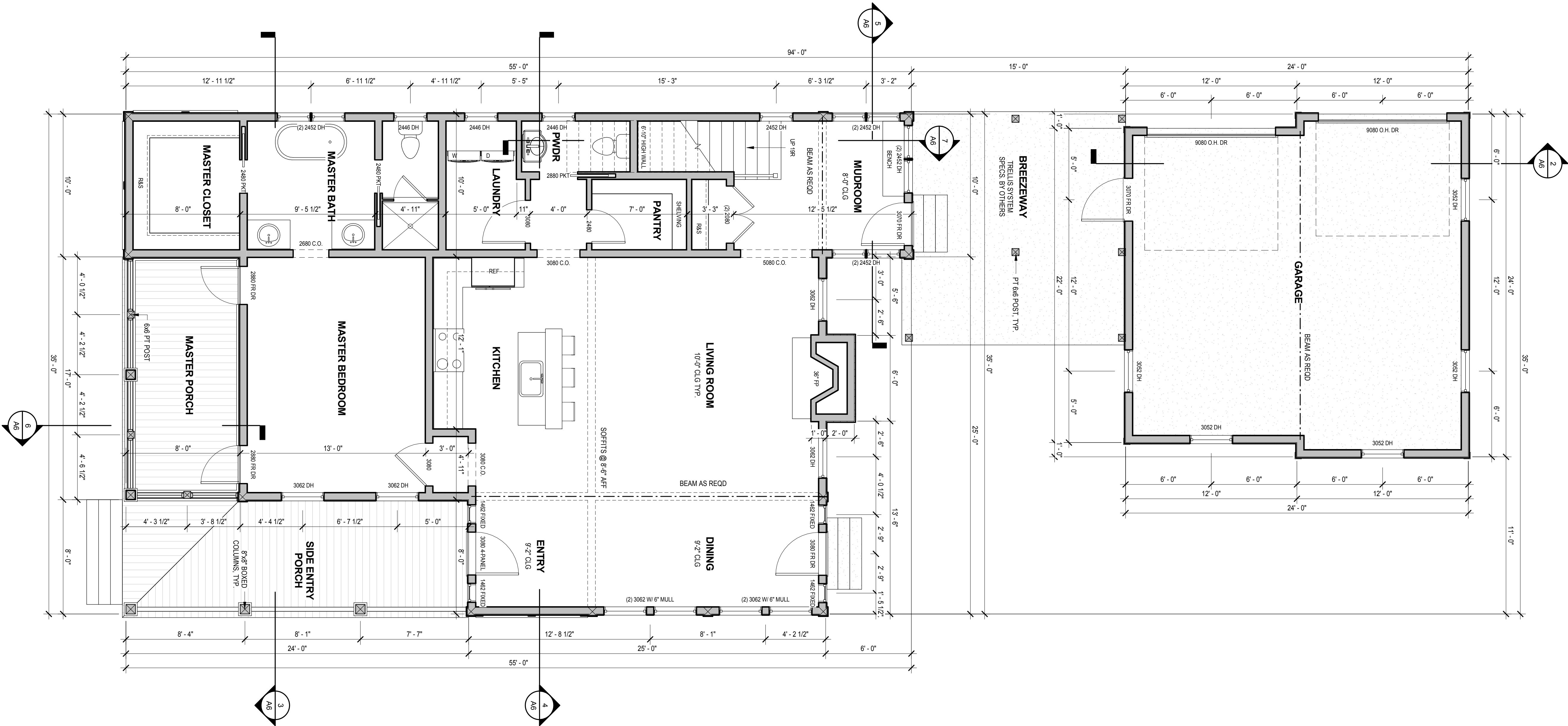
DRAWING BY	EAD
DATE	03/18/14
PROJECT NUMBER	Lot 28

A1



**FOUNDATION NOTES:**

1. ALL CONSTRUCTION INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL VERIFY ALL INFORMATION AND CONDITIONS FOR ALL REVIEWED SITE CONDITIONS AND DESIGN ALL NECESSARY STRUCTURAL ELEMENTS SUCH AS FOOTINGS, RENOVATION, FOUNDATION WALLS, PIERS AND SLAB.
2. GENERAL CONTRACTOR SHALL INSPECT SITE AND EVALUATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY IN WRITING OF ANY CHANGES REGARDING SOIL, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
3. GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE FINISH GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE CHANGES TO THE DESIGN ELEVATIONS. CHANGES TO FINISH FLOOR ELEVATION SHALL BE THE NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR TO THE FIRST FLOOR OF THE HOUSE, THE GARAGE FLOOR TO THE FIRST FLOOR OF THE HOUSE).
4. INSTALL ALUMINUM SHEET METAL THERMATE SHEETS CONTINUOUS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.
5. ALL CASTING WORK SHALL CONFORM TO ACI 318, ALL DETAILING, FABRICATION ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE A.C.I. MANUAL OF CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM A307.
6. CONCRETE SHALL BE OF A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
7. ALL CONSTRUCTION ON THE SOLIS SHALL BE DESIGNED BY P.E.
8. PROVIDE 12" MINIMUM COVER OVER FOOTING, JUNCTIONS, MOST DEEP WALLS AND A GREATER DEPTH. FOOTINGS WILL BE BELOW THE LOCAL FROST LINE.
9. INSTALL "STEEF" 1" MIN. (VORON BASE ALL FLOOR SLABS (WWW.STEEF.COM/STREETS.COM))



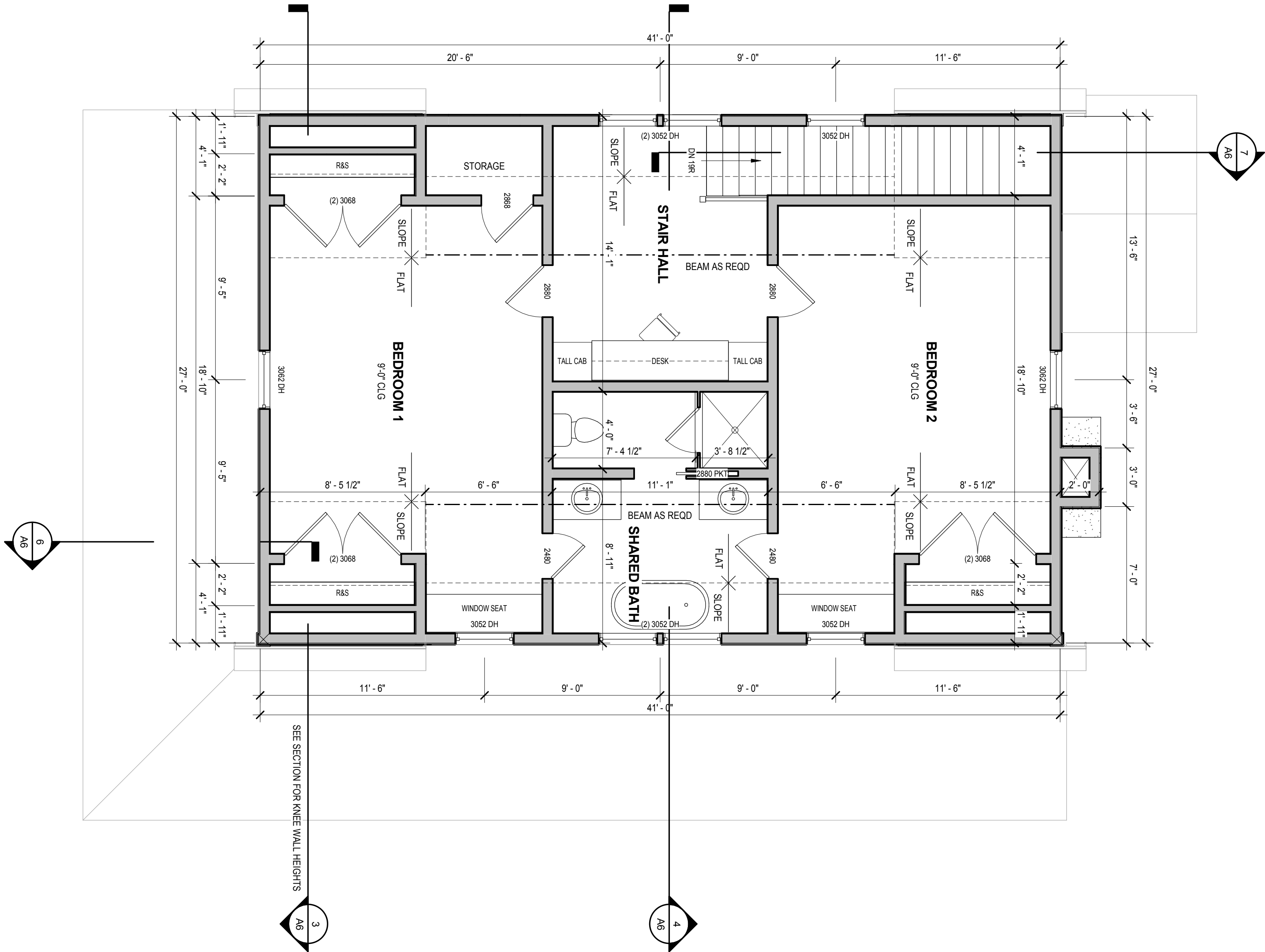
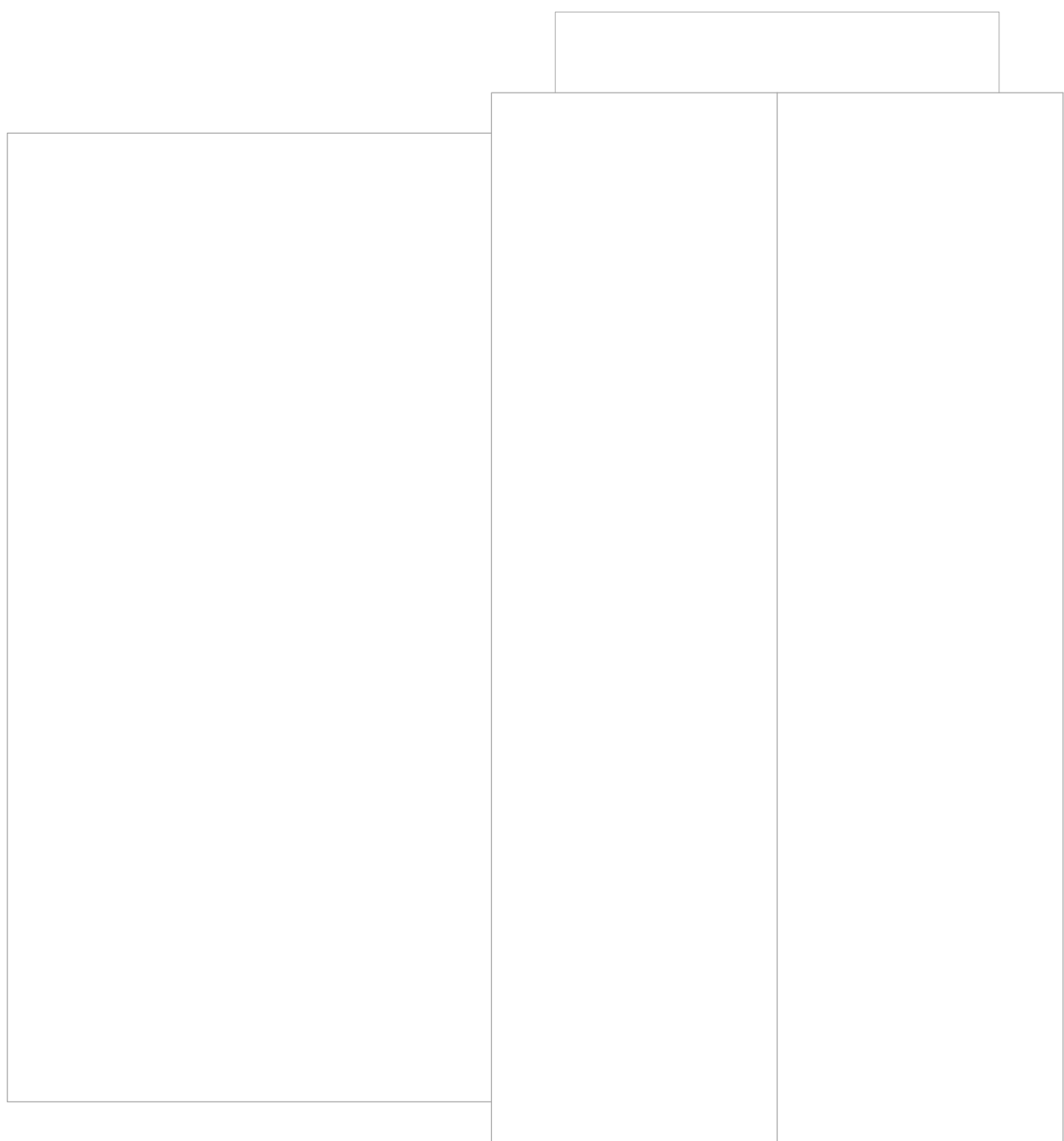
**FRAMING NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MINIMUM REQUIREMENTS FOR CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
2. ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL MEET OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND/OR LOCAL BUILDING CODES.
3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL PROFESSIONAL ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN AND SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS AND CONNECTIONS. THE ENGINEER SHALL SIGN, SEAL, AND DATE THE DRAWINGS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SAID REVIEW OF A P.E.
4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATIONS AND DETAILS, AND ADVISE THE OWNER AND/OR ARCHITECT SHOULD ANY CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.
5. IF "ENGINEERED LUMBER" OR TRUSSES WILL BE USED, THEY WILL BE DESIGNED AND APPROVED BY A P.E. AND MANUFACTURED BY A TPI MEMBER.
6. INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.
7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
8. SHEATH ALL EXTERIOR WALLS WITH A MINIMUM 1/2" OSB. STRUCTURAL GRADE #2 PLYWOOD OR NOMINAL 1/2" OSB.
9. PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER EXTERIOR WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
10. STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR EQUAL, UNLESS OTHERWISE NOTED.
11. INSTALL A CONTINUOUS ALUMINUM THERMATE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
12. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
13. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
14. INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.
15. ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.
16. STUD WALL SUPPORTING TWO FLOORS, CEILING AND ROOF LOADS SHALL BE 2 X 6 AT 16" O.C.; ALL OTHER WALLS TO BE 2 X 4 AT 16" O.C. UNLESS OTHERWISE NOTED. STUD WALLS TO BE 16" MAXIMUM SPACING. ALL STUD WALLS SHALL BE TIED TO WALLS TO BE BLOCKED SOLID AT THIRD POINTS.
17. BALCONY FRAME ALL TWO-STORY WALLS WHERE LATERAL FRAMING IS REQUIRED. PROVIDE LATERAL BRACING TO ALL TWO-STORY WALLS HAVE EXCESSIVE OPENINGS. USE VERTICAL STEEL FLITCH-PLATES AND/OR 2 X 6 FRAMING.
18. ALL HEADERS AND BEAMS TO BE SUPPORTED BY 2X6 EQUAL TO THE WIDTH OF THE BEAM OR SOLID COLUMNS AS SHOWN ON THE PLANS. SUPPORT IS TO BE CONTINUOUS TO THE FOUNDATION OR OTHER SUPPORT BELOW.
19. POCKET DOORS SHALL BE FULL SIZE SQUIP CORE DOORS HUNG ON HEAVY TRACK CENTERED IN A 2x6 WALL FRAMED W/ TIMBERSTRAND LUMBER.
20. TYPICAL HEADER TO BE (2) 2x12 W/ 1/2" PLYWOOD GLUED & NAILED UNO.

MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"





FRAMING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
2. ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE INTERNATIONAL BUILDING CODE (IBC) AND/OR LOCAL BUILDING CODES.
3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL PROFESSIONAL ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN AND SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS JOISTS, BEAMS, GIRDERS, HEADERS, COLUMNS AND WALLS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SIGNED REVIEW OF A P.E.
4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATIONS AND DETAILS AND ADVISE THE ARCHITECT OF ANY CONFLICTS OR SUGGESTED CHANGES. REVISIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.
5. IF "ENGINEERED LUMBER" OR TRUSSES WILL BE USED THEY WILL BE DESIGNED AND APPROVED BY A P.E. AND MANUFACTURED BY A TPI MEMBER.
6. INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.
7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
8. SHEATH ALL EXTERIOR WALLS WITH A NOMINAL 1/2" OSB.
9. PROVIDE DIAGONAL OR SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
10. STRUCTURAL LUMBER SHALL BE SOUTHERN PINE #2 OR EQUAL, UNLESS OTHERWISE NOTED.
11. INSTALL A CONTINUOUS ALUMINUM THERMATE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
12. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, STAIRS AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
13. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
14. INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.
15. ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.
16. STUD WALL SUPPORTING TWO FLOORS, CEILING AND ROOF LOADS SHALL BE 2 X 6 AT 16" O.C. ALL OTHER WALLS TO BE 2 X 4 AT 16" O.C. UNLESS OTHERWISE NOTED. STUD WALLS UP TO 9' TALL TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS.
17. BALCONY FRAME ALL TWO-STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. IF TWO-STORY WALLS HAVE EXCESSIVE OPENINGS, USE VERTICAL STEEL PLATE OR LATHES AND OR 2 X 6 FRAMING.
18. ALL HEADERS AND BEAMS TO BE SUPPORTED BY 2X'S EQUAL TO THE WIDTH OF THE BEAM OR SOLID COLUMNS AS SHOWN ON THE PLANS. STUD WALLS SHALL BE SUPPORTED TO THE FOUNDATION OR OTHER SUPPORT BELOW.
19. POCKET DOORS SHALL BE FULL SIZE SOLID CORE DOORS. POCKET DOORS SHALL BE CENTERED IN A 2X6 WALL FRAMED W/ TIMBERSTRAND LUMBER.
20. TYPICAL HEADER TO BE (2) 2X12 W/ 1/2" PLYWOOD GLUED & NAILLED UNJO.

UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"

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Gin Property, Lot 28  
Seneca, Georgia

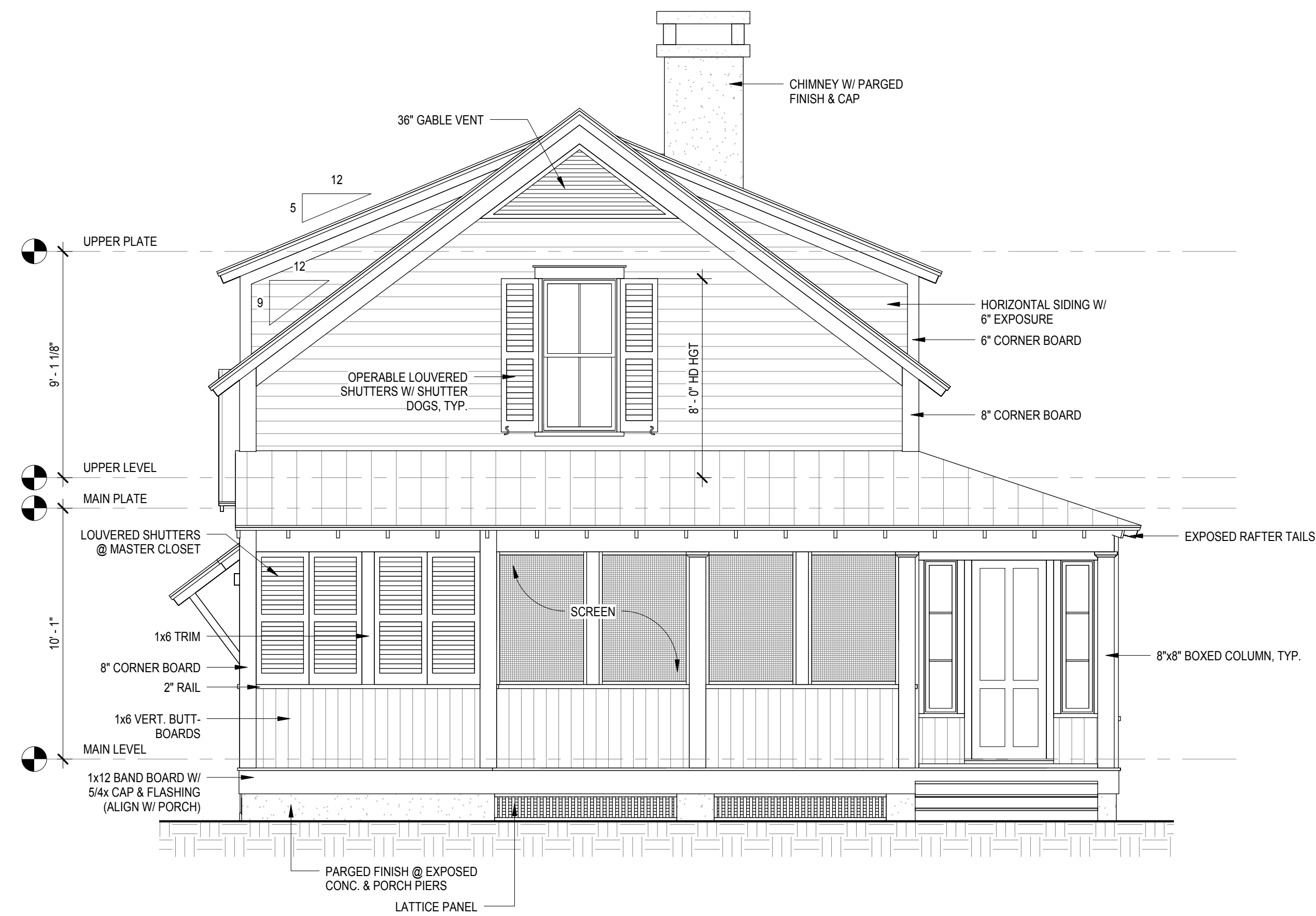
EXTERIOR  
ELEVATIONS

DRAWING BY  
EAD

DATE  
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A4



**FRONT ELEVATION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
1/4" = 1'-0"



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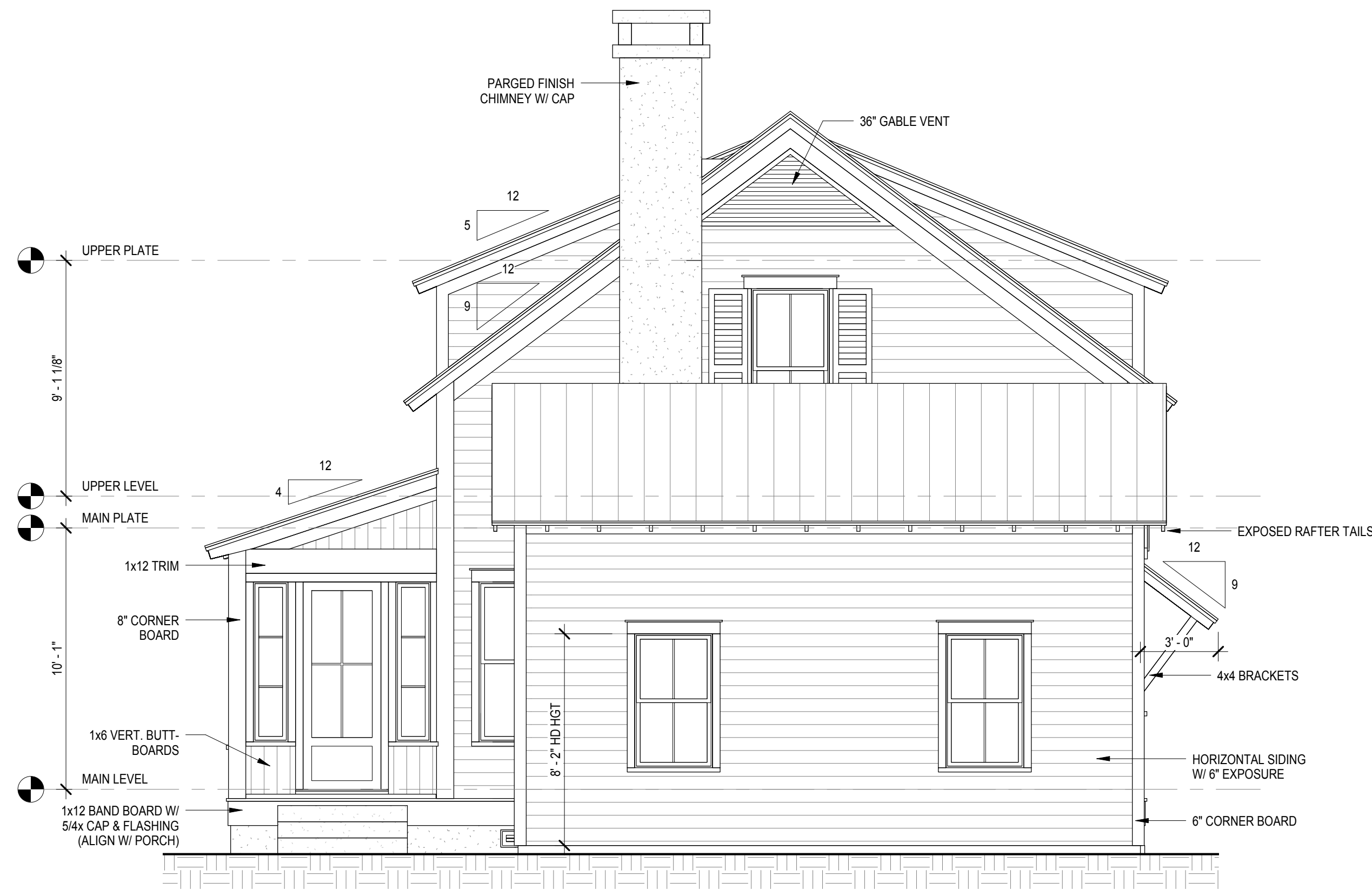


**Gin Property, Lot 28**  
 Senoia, Georgia

**EXTERIOR ELEVATIONS**

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**A5**



**REAR ELEVATION**

1/4" = 1'-0"



**LEFT ELEVATION**

1/4" = 1'-0"

1 **ROOF PLAN**  
A6 1/8" = 1'-0"

**ROOF NOTES:**

1. **TYPICAL ROOFING SYSTEM SHALL BE AS FOLLOWS:**  
**ASPHALT ROOF SHINGLES, ROOFING FELT / SELF ADHERED ROOFING UNDERLAYMENT OVER ROOF SHEATHING.**
2. **ROOFING FELT SHALL BE UL RATED 30 LB ASPHALT SATURATED ORGANIC FELT.**
3. **TYPICAL SELF ADHERED ROOFING UNDERLAYMENT SHALL BE W.R. GRACE "ICE AND WATER SHIELD".**  
**INSTALL AT FOLLOWING LOCATIONS: 1) ALONG EAVES EXTENDING A MINIMUM OF 36" HORIZONTALLY UP ROOF BEYOND THE INSULATED WALL LINE. 2) 36" SHEET WIDTH ALONG GABLE (RAKE) ENDS, 3) 36" SHEET WIDTH AT VALLEYS, 4) 36" SHEET WIDTH AT ROOF/WALL INTERSECTIONS, 5) ALL AROUND CHIMNEYS, SKYLIGHTS AND OTHER ROOF PENETRATIONS, 6) COMPLETELY AT ALL ROOFS LESS THAN 4:12 PITCH, 7) 36" SHEET AT ROOF PITCH TRANSITIONS, 8) OTHER AREAS AS REQUIRED BY CODE.**
4. **INSTALL CONTINUOUS W.R. GRACE "ULTRA" SELF ADHERED ROOFING UNDERLAYMENT UNDER PLAT SLOPED SEALED COPPER WHERE METAL PANS ARE USED. IF SEALING IS PERFORMED, PLACE 2 LAYERS ROOFING FELT UNDER SEAM LOCATIONS TO PROTECT UNDERLAYMENT.**
5. **INSTALL PREFINISHED METAL DRIP FLASHING ALONG ALL EAVES AND RAKE ENDS TO HAVE MINIMUM 6" FLANGE ONTO ROOF SURFACE.**
6. **INSTALL PREFINISHED METAL VALLEY FLASHING WITH 1" W/CRIMP, 12" MINIMUM UP EACH SIDE OF VALLEYS**
7. **INSTALL PREFINISHED METAL FLASHING AT ROOF PITCH TRANSITIONS.**
8. **INSTALL PREFINISHED METAL STEP FLASHING ALONG ROOF / WALL INTERSECTIONS AND ALONG ROOF / CHIMNEY INTERSECTIONS.**
9. **CONFORM WITH "SMACNA" ARCHITECTURAL SHEET METAL MANUAL, 5TH ADDITION, 1993 WITH ADDENDUM NO. 1, OCTOBER 31, 1997 FOR ALL METAL ROOFING, FLASHING AND ROOF PENETRATION SYSTEMS**
10. **RIDGE VENTS TO BE HIGH PROFILE, PLASTIC TYPE, SHINGLE OVER VENT SYSTEM (COR-A-VENT V-600 SERIES OR EQUAL). INSTALL CONTINUOUSLY ALONG RIDGES.**
11. **INSTALL ROOF TO WALL VENTS (COR-A-VENT ROOF-2-WALL VENT OR EQUAL) WHERE INDICATED ON DRAWINGS.**

**BUILDING SECTION THRU MASTER PORCH**

**5 BUILDING SECTION THRU MUDROOM**

7 STAIR SECTION  
A6 1/4" = 1'-0"

2 BUILDING SECTION THRU GARAGE  
A6 1/4" = 1'-0"

### 3 BUILDING SECTION THRU MASTER BEDROOM

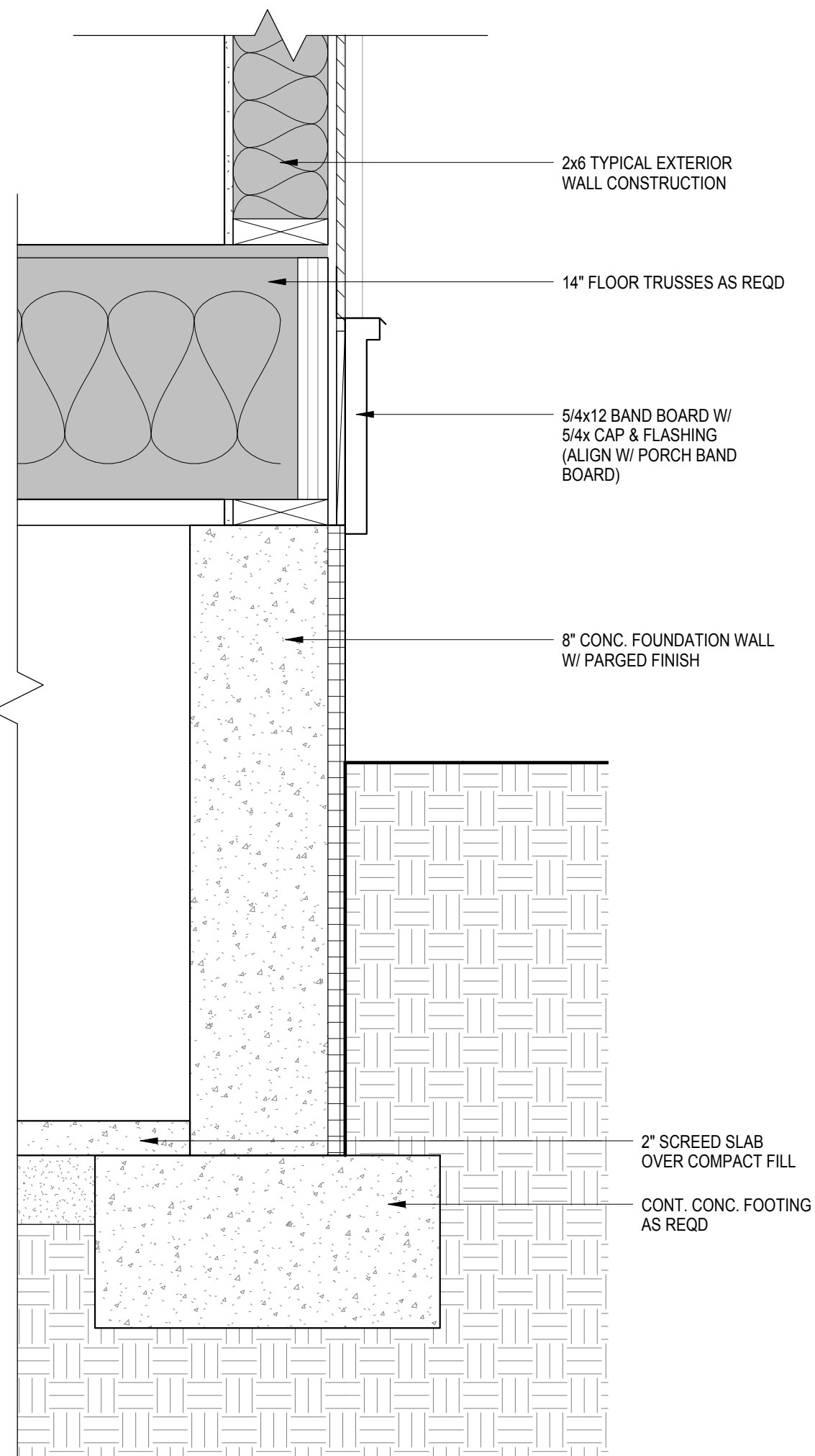
## 4 BUILDING SECTION THRU DORMERS

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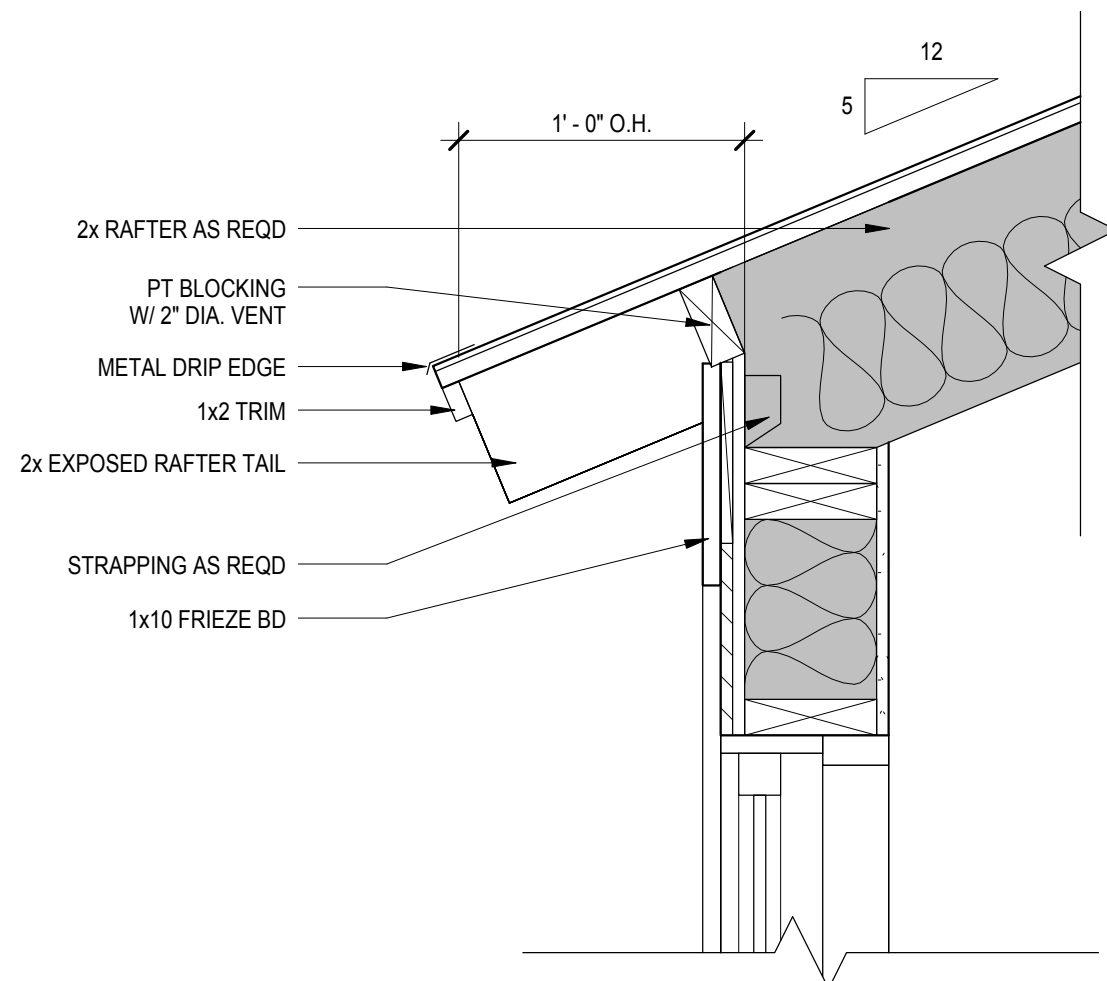
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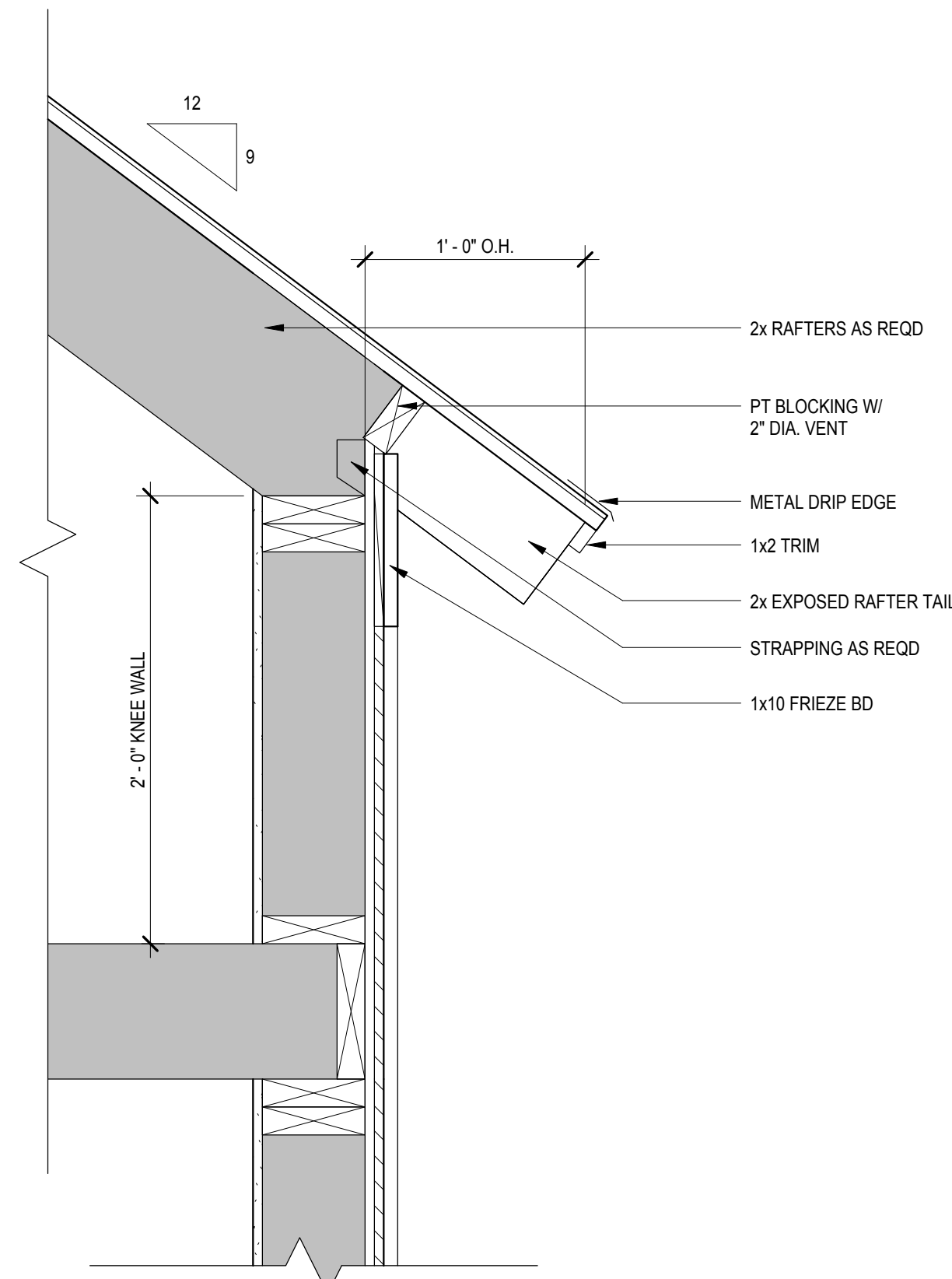




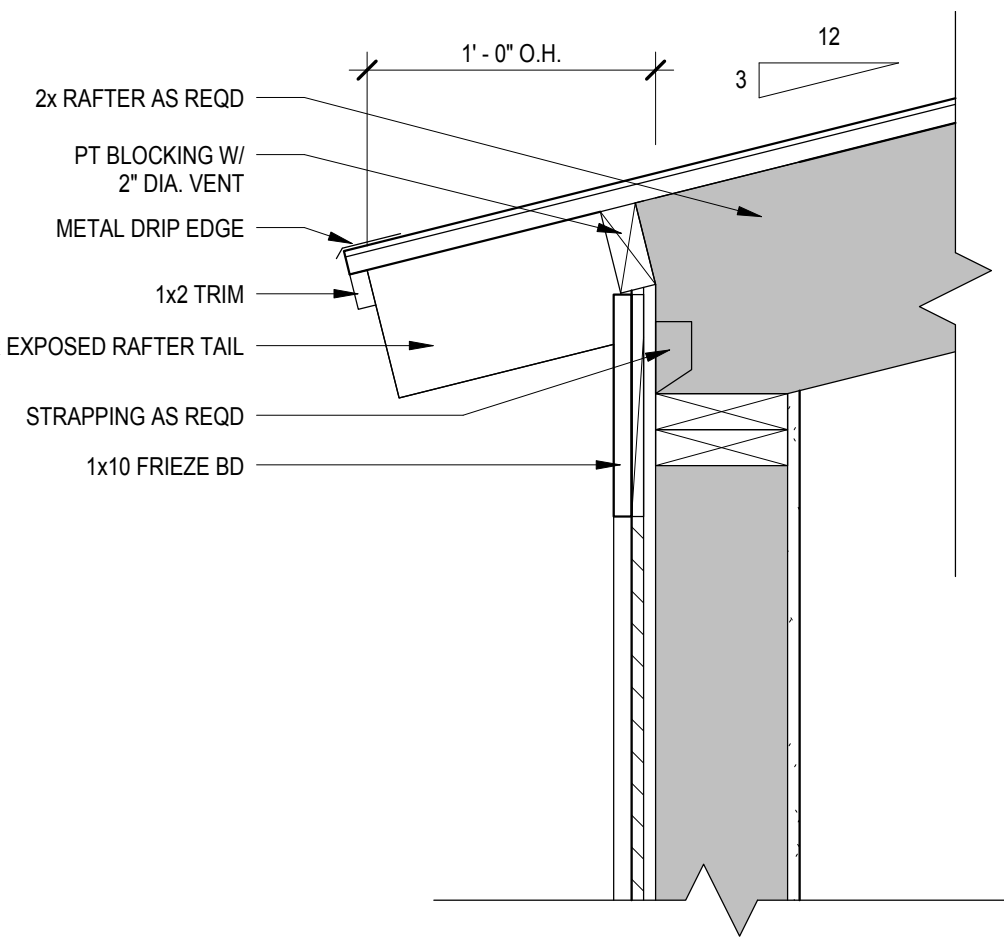
6 TYPICAL FOUNDATION DETAIL  
A7 1 1/2" = 1'-0"



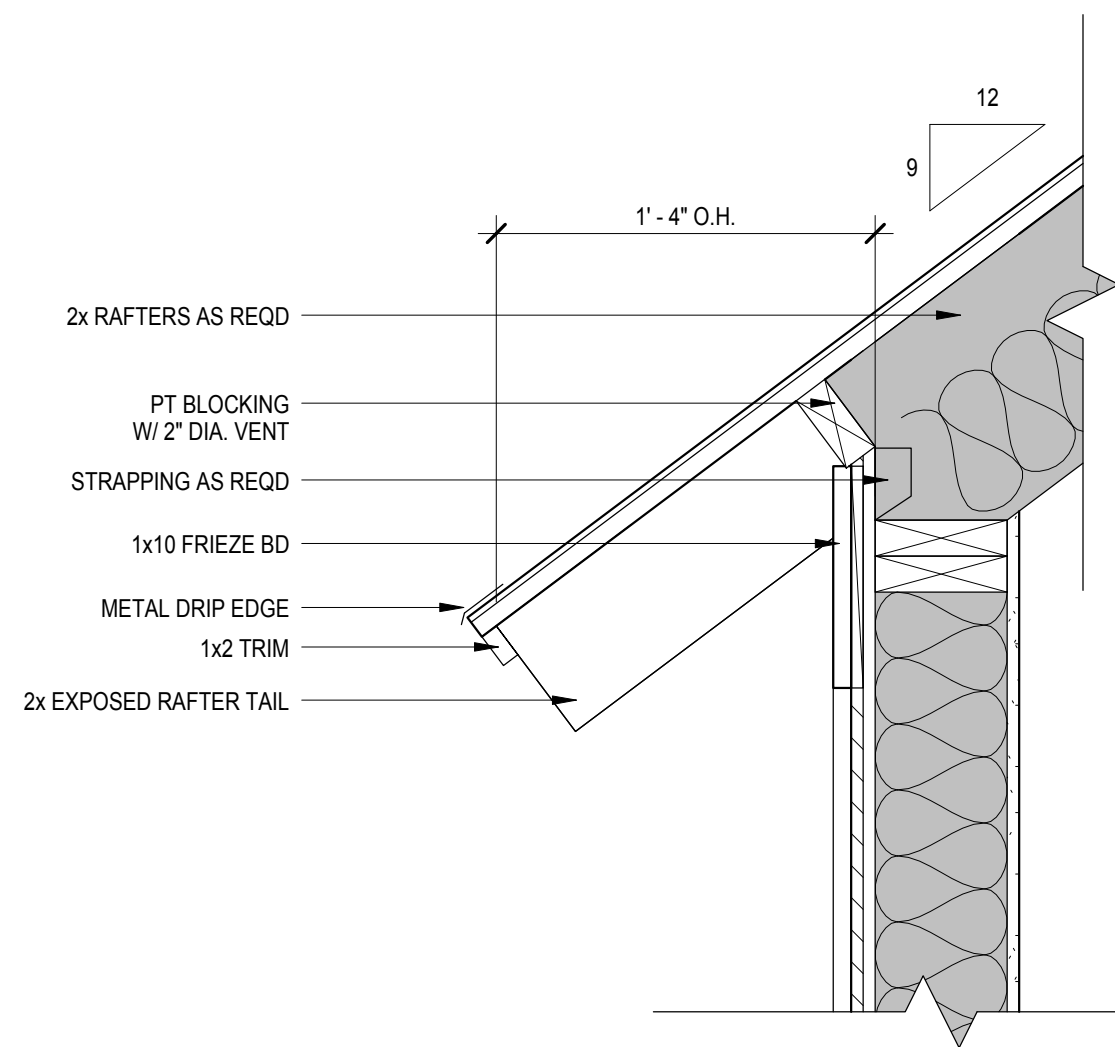
5 DORMER CORNICE DETAIL  
A7 1 1/2" = 1'-0"



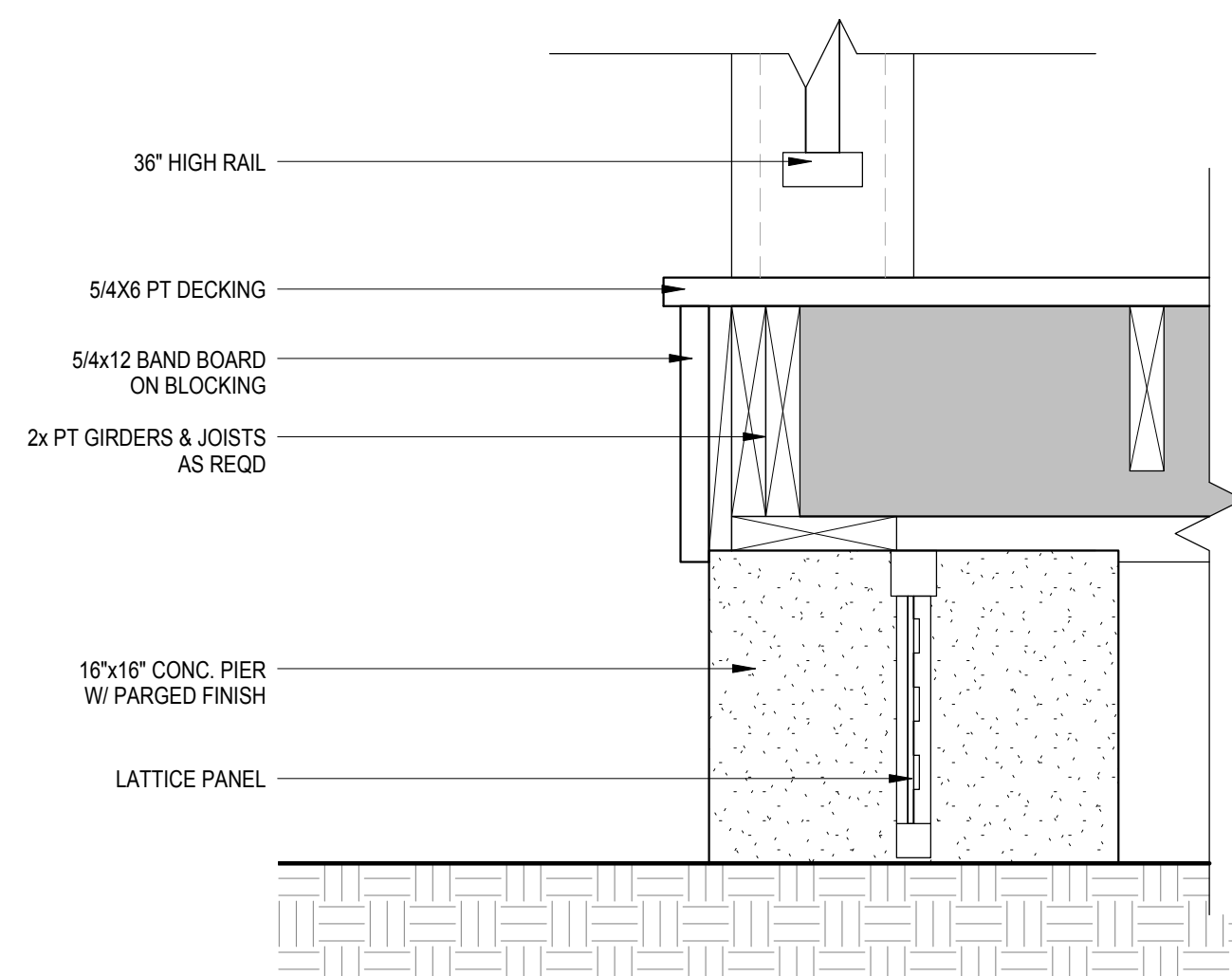
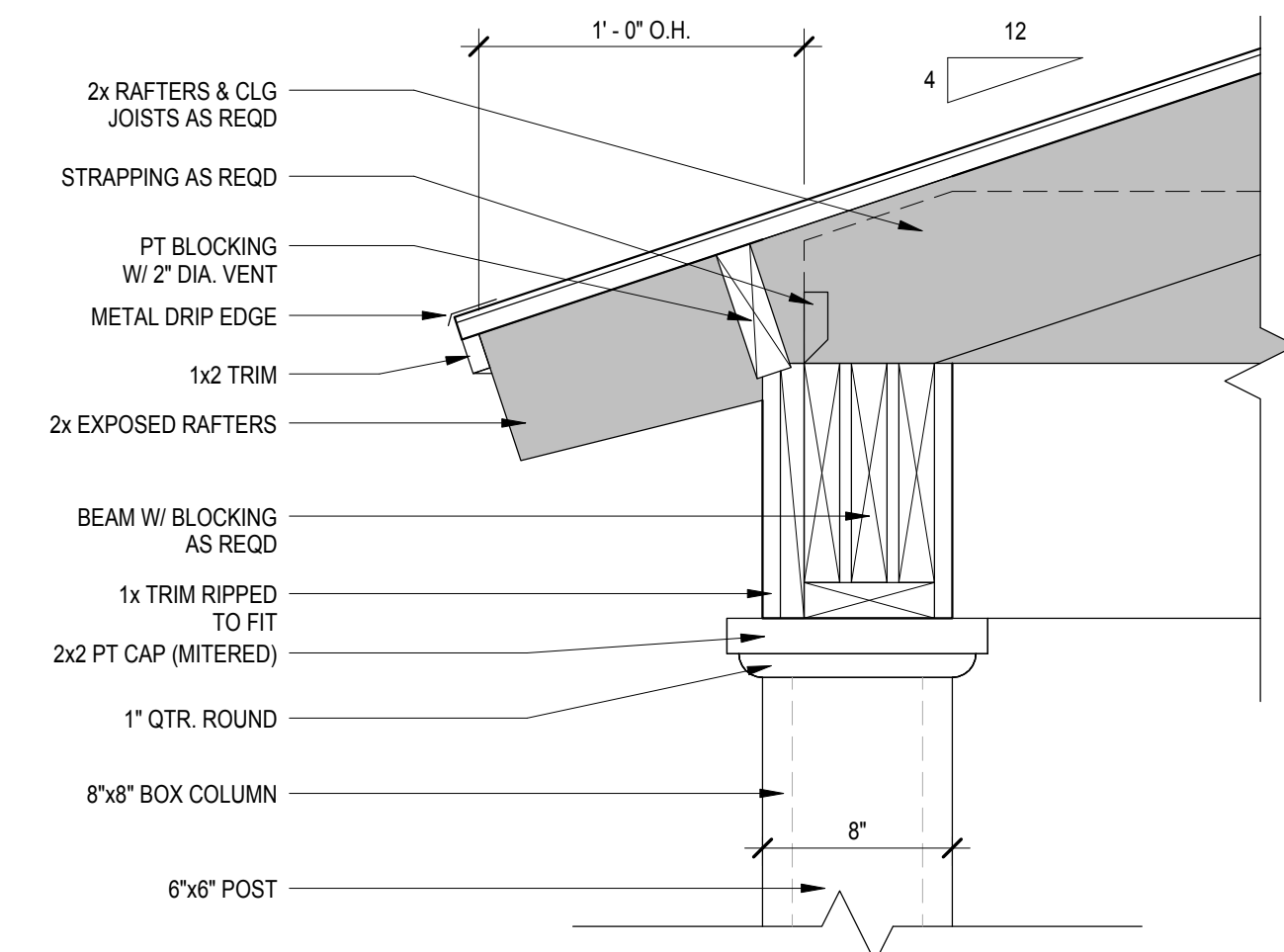
3 GARAGE CORNICE DETAIL  
A7 1 1/2" = 1'-0"



4 GARAGE CORNICE DETAIL 2  
A7 1 1/2" = 1'-0"



2 TYPICAL CORNICE DETAIL  
A7 1 1/2" = 1'-0"



1 PORCH DETAIL  
A7 1 1/2" = 1'-0"

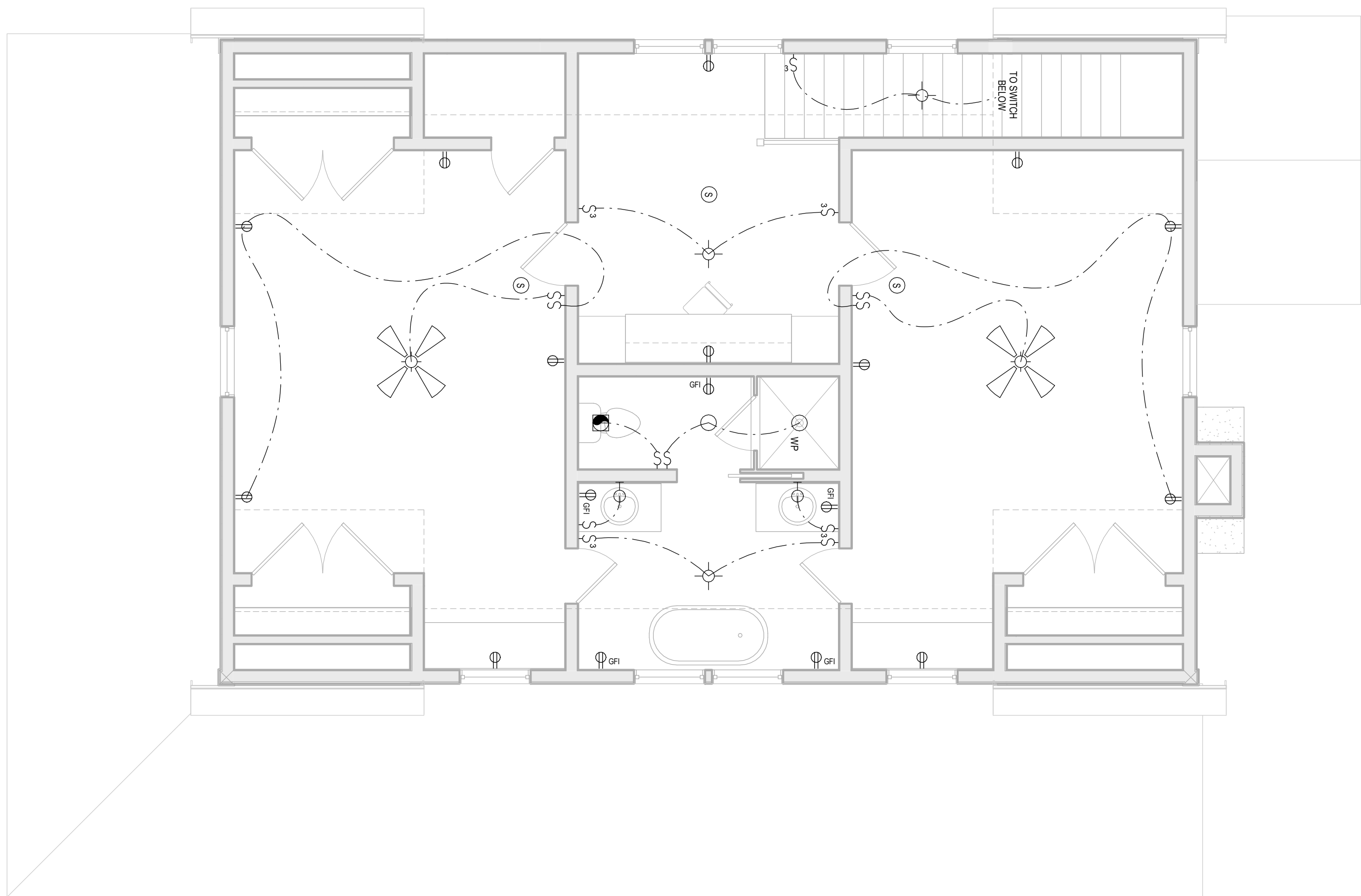
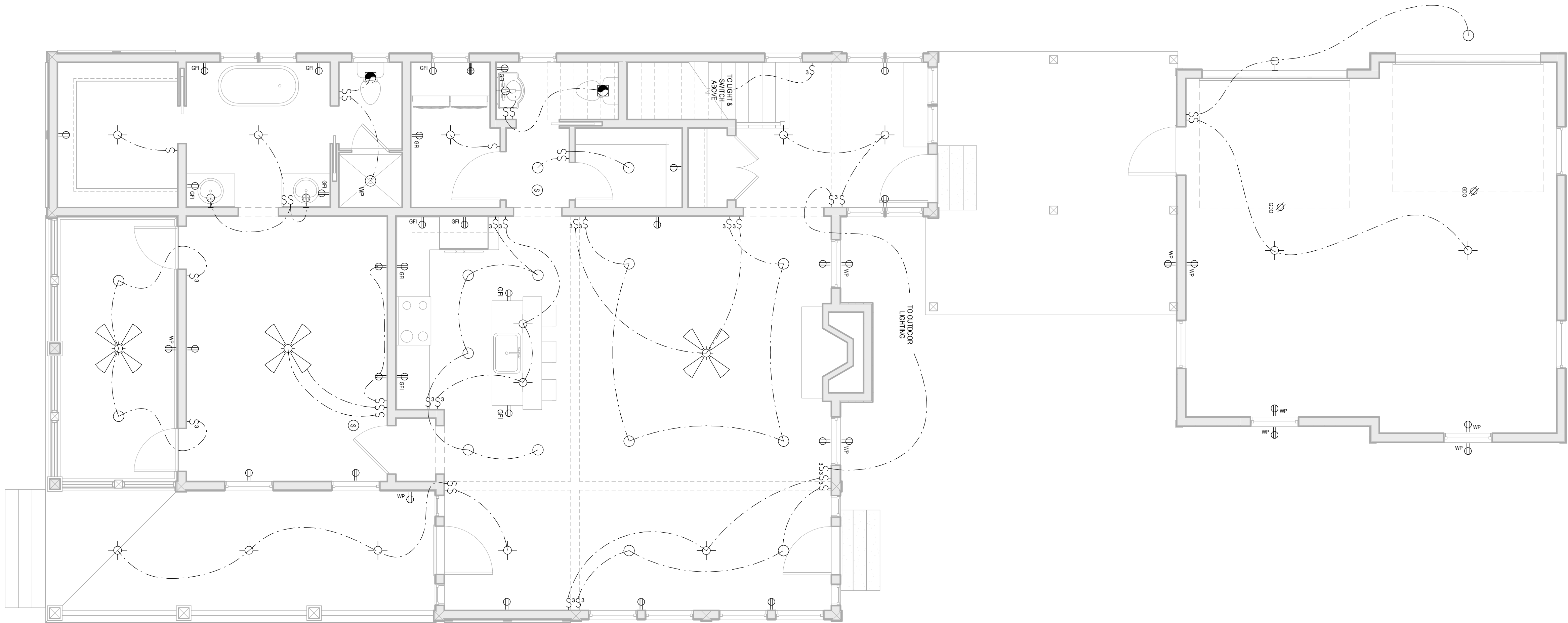


## ELECTRICAL SYMBOL KEY

	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - RECESSED CAN
	CEILING FAN
	EXHAUST FAN
	SMOKE & CO2 DETECTOR
	LIGHT SWITCH - SINGLE
	LIGHT SWITCH - 3-WAY
	DUPLEX RECEPTACLE (OUTLET)
	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE - WATER PROOF
	DUPLEX RECEPTACLE - 220V
	TELEPHONE JACK
	CABLE TELEVISION JACK
	DUPLEX RECEPTACLE - FLOOR MOUNTED
	DUPLEX RECEPTACLE - GARAGE DOOR OPENER

**ELECTRICAL NOTES:**

- THESE ELECTRICAL PLANS ILLUSTRATE SUGGESTED LIGHT FIXTURE LAYOUTS IN A DIAGRAMMATIC MANNER. CARBON MONOXIDE DETECTORS AND OTHER CODE REQUIRED ELECTRICAL ITEMS ARE NOT INDICATED ON THESE PLANS. ELECTRICAL CONTRACTOR SHALL WORK WITH OWNER TO DEVELOP A DETAILED CODE-COMPLYING ELECTRICAL PLAN.
- MINIMUM RECEPTACLE LOCATIONS ARE INDICATED ON THESE PLANS. ELECTRICAL CONTRACTOR TO PROVIDE ADDITIONAL RECEPTACLE LOCATIONS AS REQUIRED TO MEET CODE.
- VERIFY LOCATIONS OF OUTLETS MOUNTED IN EXTERIOR CEILINGS AND OVERHANGS FOR HOLIDAY LIGHTS W/ OWNER.
- VERIFY LOCATIONS OF FLOOR OUTLETS, DIMMERS, AND EXTERIOR FLOOD LIGHTS W/ OWNER.
- VERIFY TV PLACEMENT LOCATIONS FOR ELECTRICAL OUTLETS W/ OWNER.
- PROVIDE UNDER-CABINET LIGHTS AND SWITCHES IN KITCHEN PER OWNER.
- REVIEW ALL ELECTRICAL FIXTURE LOCATIONS AND ELECTRICAL SYSTEMS DESIGN W/ OWNER.



MAIN LEVEL FLOOR PLAN

UPPER LEVEL FLOOR PLAN